



**DEVELOPMENT PERMIT NO. DP001254**

**COASTAL SQUARE HOMES INC.**  
Owner(s) of Land (Permittee)

**1641 BOWEN ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN 9164 EXC  
PLAN 37148  
PID No. 005-562-341**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site Plan**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### CONDITIONS OF PERMIT

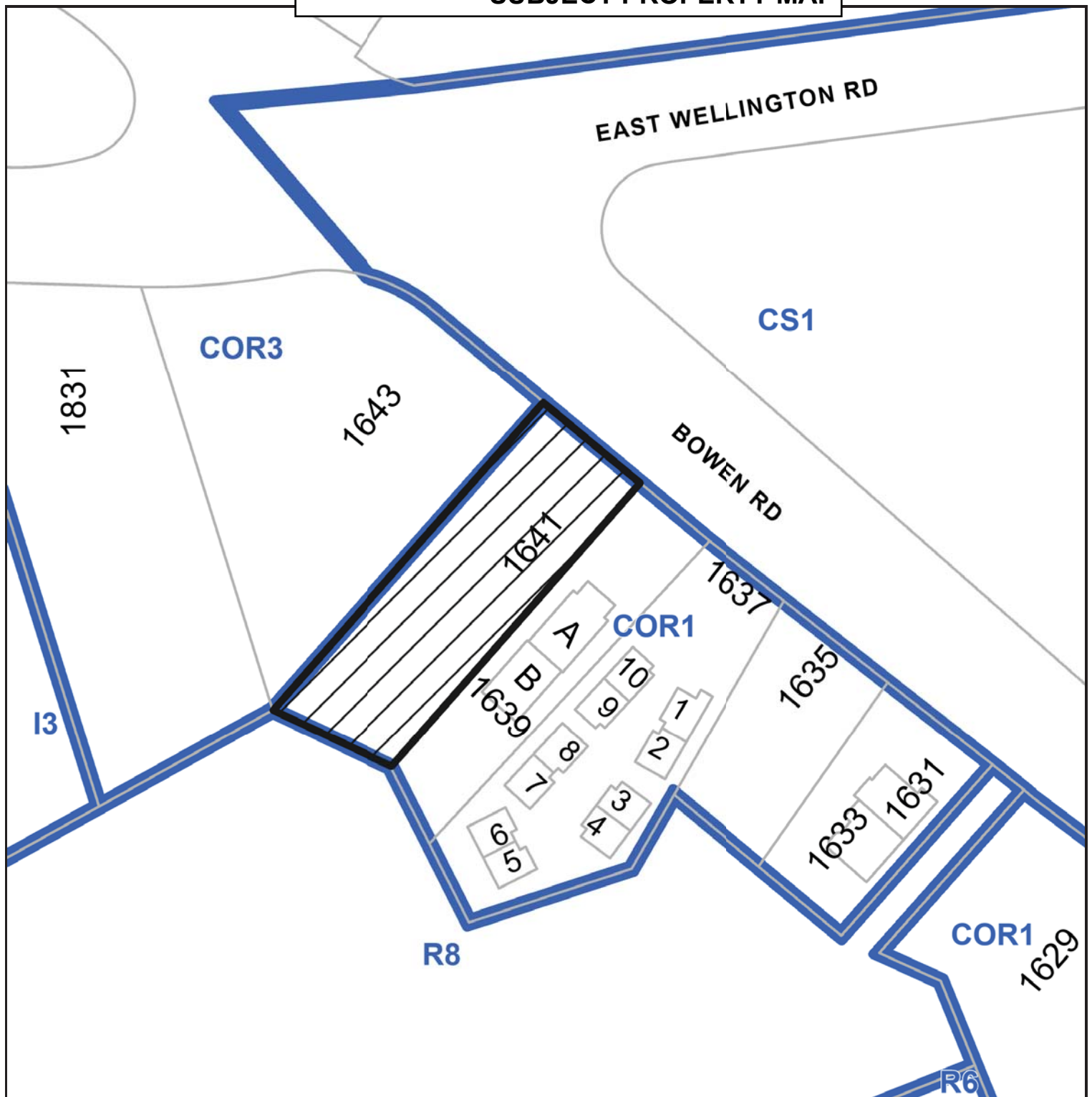
1. The subject property shall be developed in accordance with the Site Plan prepared by CMTC Architect Inc., dated 2023-JUN-06, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by CMTC Architect Inc., dated 2023-MAY-23, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Homing Landscape Architecture, dated 2023-MAY-03, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) across, and construction of a stormwater service through 200 Hansen Road prior to building occupancy should this not be constructed by others at the time of building permit issuance.

REVIEWED AND APPROVED ON

2023-may-5  
Date

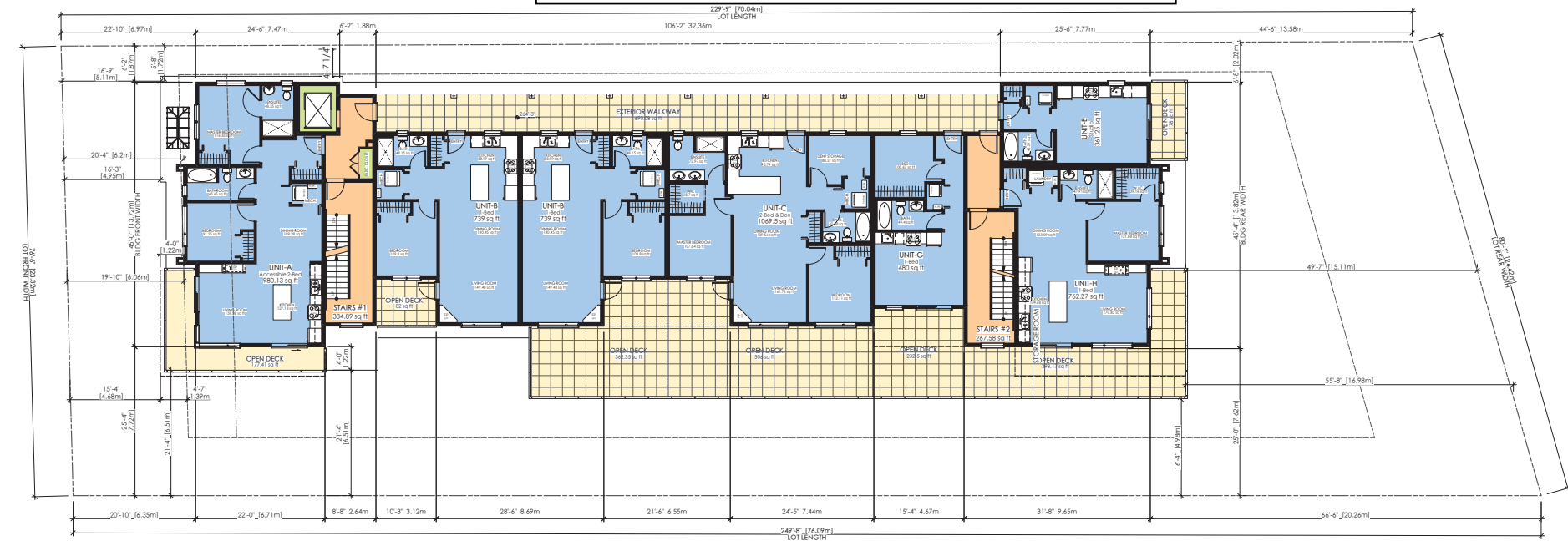
D. Lindsay  
D. Lindsay, General Manager of Development Services / Deputy CAO  
**Community Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

LR/cc  
Prospero attachment: DP001254



1641 BOWEN ROAD

## SITE PLAN



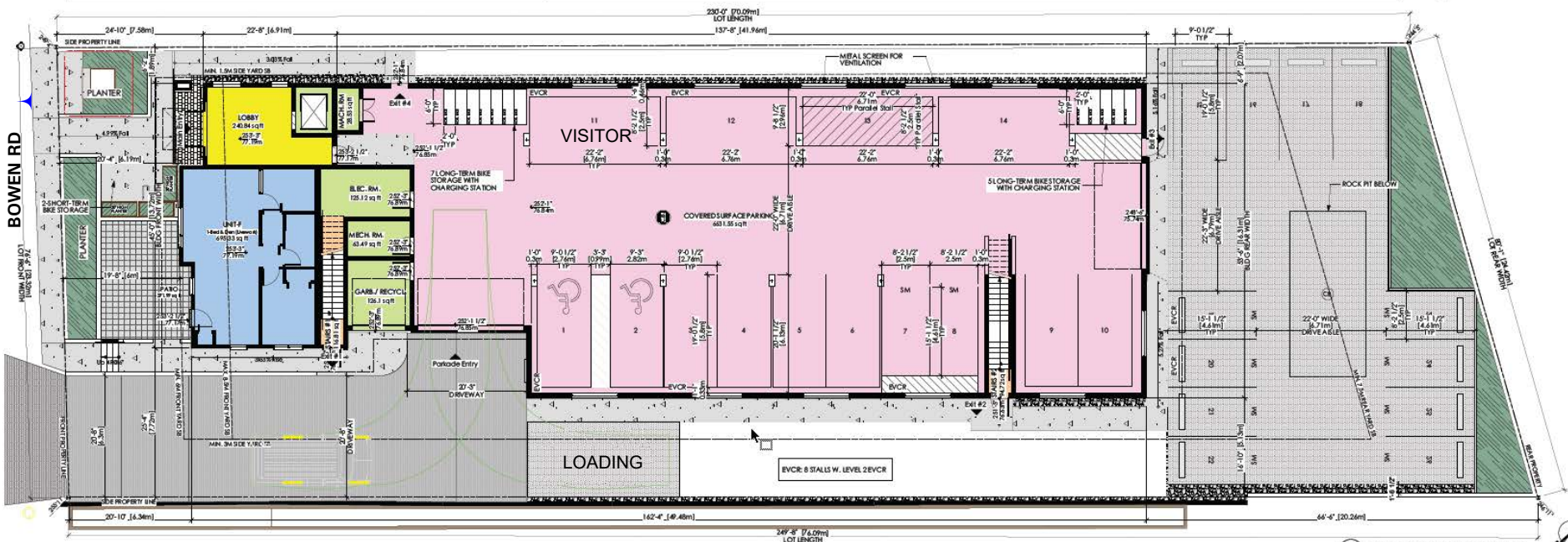
**SPACE LEGEND:**



**FLOOR FINISH LEGEND:**



2ND & 3RD FLOOR PLAN  
Scale: 1:100



COPYRIGHT RESERVED. THIS DRAWING MUST NOT BE  
 SCALED. VARIATIONS AND MODIFICATIONS TO  
 WORK SHOWN ON THESE DRAWINGS SHALL NOT BE  
 CARRIED OUT WITHOUT WRITTEN PERMISSION  
 FROM THE ARCHITECTS. THIS DRAWING IS THE  
 EXCLUSIVE PROPERTY OF C.M.T.C. ARCHITECT INC.  
 AND CAN ONLY BE REPRODUCED WITH OUR  
 WRITTEN PERMISSION

ISSUE:

NO.	DATE	DESCRIPTION
1	May 4th 2021	Issue For Client Review
2	June 10th 2021	Issue For Client Review
3	July 21st 2021	For Client Approval
4	July 26th 2021	For Pre Application
5	Aug 17th 2021	For Client Review
6	Aug 24th 2021	For Coordination
7	Nov 5th 2021	Issue For DP
8	Dec 9th 2022	For Client Review
9	Dec 22nd 2022	Re-issue for DP

NOT FOR CONSTRUCTION

REVISIONS:

SEAL:



**CMTC ARCHITECT INC.**  
3440 E. GEORGIA ST.  
VANCOUVER, BC.  
V5K 2L7  
(604) 563 2682  
(778) 869 1525  
CHRIS@CMTCARCHITECT.CA

PROJECT:

BOWEN RD.  
APARTMENTS  
RECEIVED  
DP1254  
2023-JUN-06  
COURTESY: BOWEN RD.

1641 Bowen Rd. Nanaimo BC V9S 1G7

DESIGNED: C.C.	DATE: Jun 6, 2023
DRAFTED: CC/JN	REVIEWED: CC
SCALE: AS NOTED	PROJECT NO.: 21-1641
SHEET TITLE:	

## FLOOR PLANS

REVISION NO.

SHEET NO.:

A-3

1 GROUND FLOOR & PARKADE PLAN  
Scale: 1:100



# Development Permit No. DP001254 Schedule C

## 1641 Bowen Road

### BUILDING ELEVATIONS AND DETAILS



COPYRIGHT RESERVED. THIS DRAWING MUST NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.M.T.C. ARCHITECT INC. AND CAN ONLY BE REPRODUCED WITH OUR WRITTEN PERMISSION.

ISSUE:

NO.	DATE	DESCRIPTION
1	May 4th 2021	Issue For Client Review
2	June 10th 2021	Issue For Client Review
3	July 21st 2021	For Client Approval
4	July 26th 2021	For Pre Application
5	Aug 17th 2021	For Client Review
6	Aug 24th 2021	For Coordination
7	Nov 5th 2021	Issue For DP
9	Dec 22nd 2022	Re-issue for DP

NOT FOR CONSTRUCTION

REVISIONS:

SEAL:



**CMTc ARCHITECT INC.**  
3440 E. GEORGIA ST.  
VANCOUVER, BC  
V6K 2J7  
604.563.9890  
779.869.1525  
CHRS@CMTcARCHITECT.CA

PROJECT:

**BOWEN RD. APARTMENTS**  
**RECEIVED**  
**DP1254**  
**2023-MAY-23**  
1641 Bowen Rd. Nanaimo BC V9S 1G7

DESIGNED:	DATE:
C.C.	May 23, 2023
DRAWN:	REVIEWED:
CC/JN	CC
SCALE:	PROJECT NO.:
	21-1641

SHEET TITLE:

**BLDG ELEVATIONS**

REVISION NO.:

SHEET NO. **A-8**

Development Permit No. DP001254 Schedule D  
1641 Bowen Road  
**LANDSCAPE PLAN AND DETAILS**

LANDSCAPE LEGENDS		
SYMBOL	MATERIALS	DETAILS
	CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING 457mm x 457mm	3/L3.0
	GRAVEL DRAIN STRIP	4/L3.0
	CIP CONCRETE PAVING	1/L3.0
	CONCRETE PLANTERS	
	METAL PLANTER	7/L3.0
	PLANTING BED	2/L3.2
	BENCH	5/L3.0
	BIKE RACK	6/L3.0
	CONCRETE STAIR WITH HANDRAIL	1/L3.1

**LANDSCAPE NOTES**

1. DO NOT SCALE DRAWINGS.

2. LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.

3. ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.

4. THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.

5. REPAIR / OR REMOVE AND REPLACE - EXISTING LANDSCAPE WORKS AS REQUIRED TO MATCH PRE-EXISTING CONDITIONS - AT LIMIT OF WORK LINE, TYPICAL.

6. THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ON SITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

7. ALL OFF-SITE WORKS TO CONFORM TO CITY OF NANAIMO STANDARDS.

8. LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF NANAIMO PRIOR TO INSTALLATION.

**LANDSCAPE GRADING LEGENDS**

SYMBOL	DESCRIPTION
+ 251' (76.5m)	SPOT ELEVATION
+ TW 255'-5" (77.85m)	TOP OF WALL ELEVATION
+ BW 252'-8 1/2" (77.02m)	BOTTOM OF WALL ELEVATION
+ TS 254'-3" (77.50m)	TOP OF STAIR ELEVATION
+ BS 252'-7" (76.99m)	BOTTOM OF STAIR ELEVATION
4.99%	SLOPE PERCENTAGE
252'-8 1/2" (77.02m)	SPOT ELEVATION, PER ARCHITECTURAL

**LANDSCAPE GRADING NOTES**

1. DO NOT SCALE DRAWINGS.

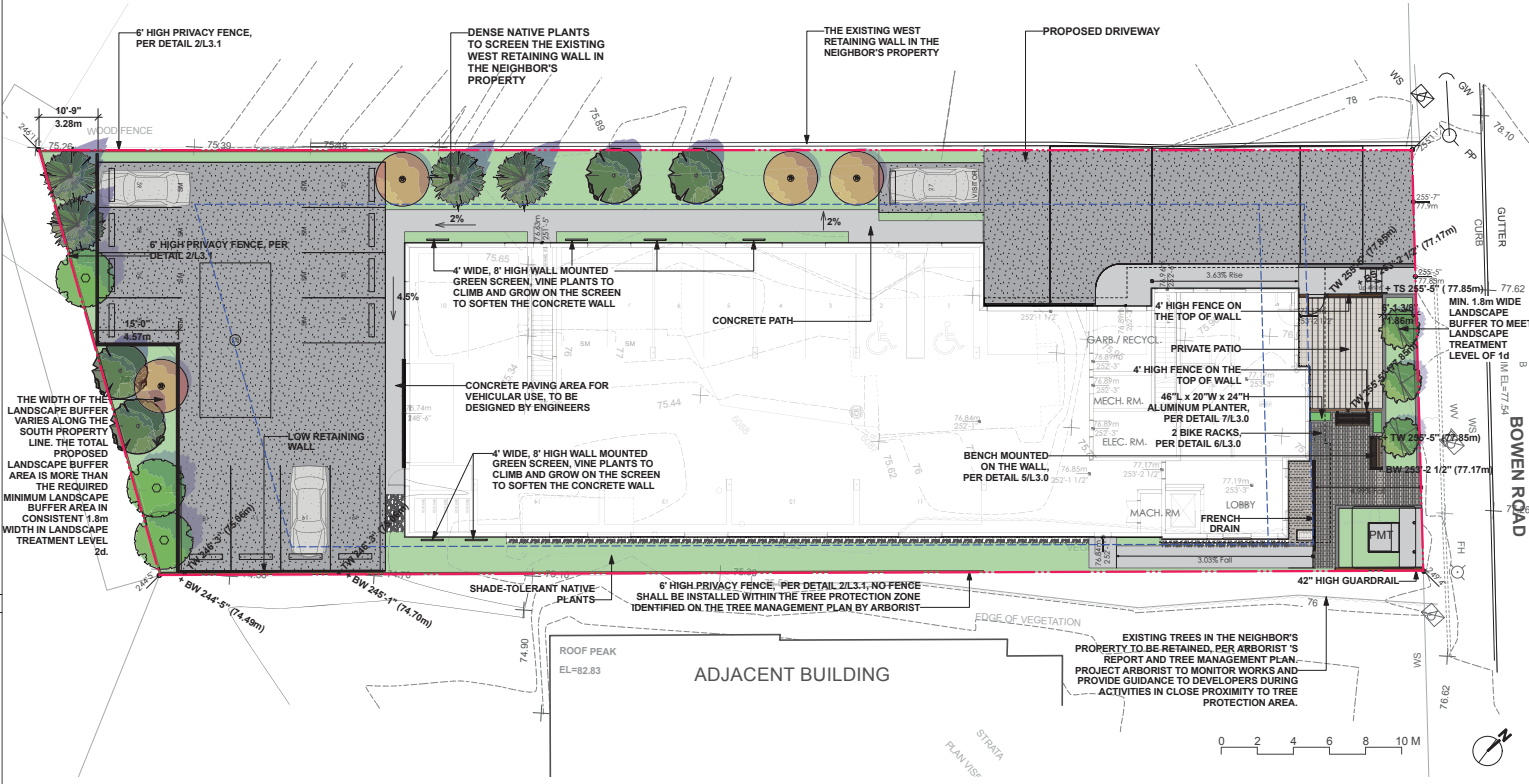
2. ALL GRADING INFORMATION IS PRELIMINARY ONLY.

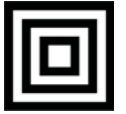
3. REFER TO CIVIL DRAWINGS OFF-SITE ROAD AND SIDEWALK GRADING INFORMATION.

4. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.

5. ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.

6. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.





**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT  
RESERVED. IF A DISCREPANCY OCCURS  
BETWEEN THE DRAWINGS AND THE  
SPECIFICATIONS OR ANY OTHER DOCUMENT  
ASSOCIATED WITH THE PROJECT, THE CONFLICT  
SHALL BE REPORTED IN WRITING TO THE  
LANDSCAPE ARCHITECT TO OBTAIN  
CLARIFICATION AND APPROVAL BEFORE  
PROCEEDING WITH WORKS.

**Revisions**

NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

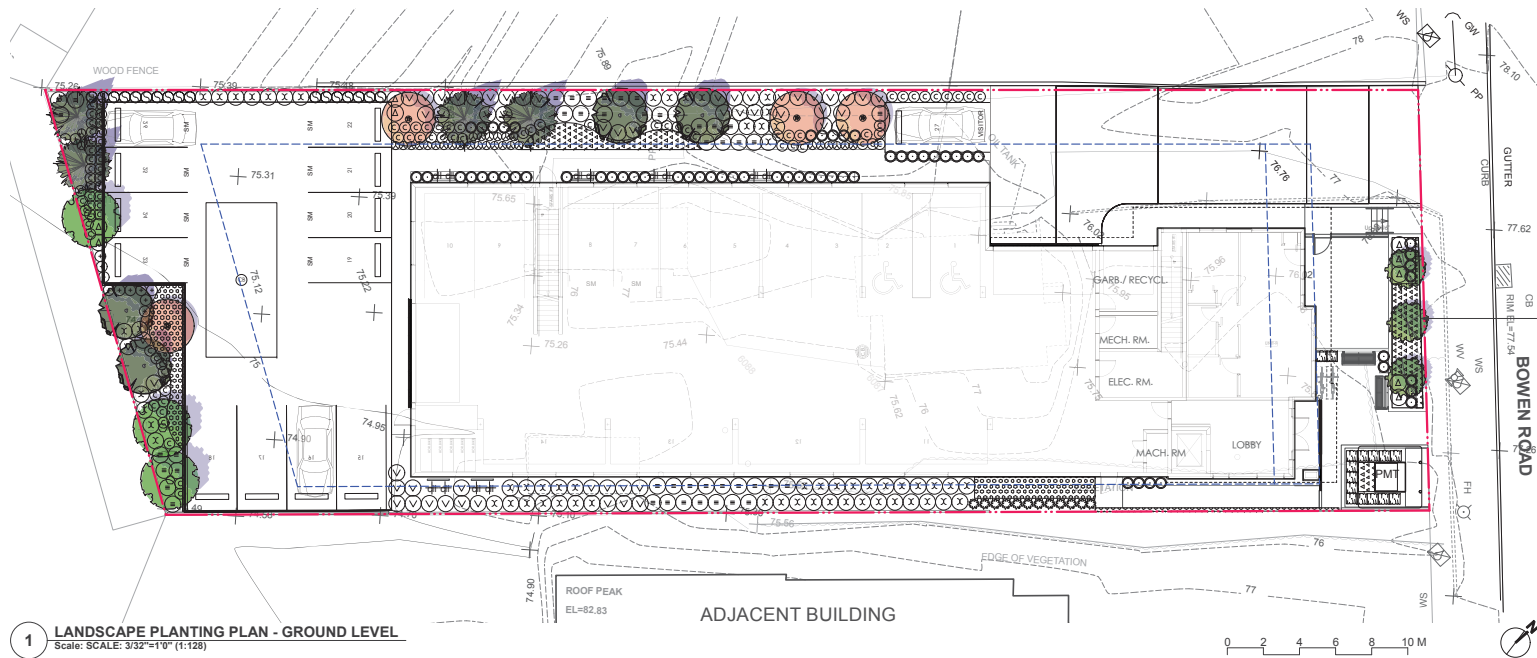
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**LANDSCAPE  
PLANTING PLAN**

**L1.1**



**PLANT LIST**

QTY. BOTANICAL NAME COMMON NAME SIZE SPACING

**TREES**



4	Acer Palmatum	Japanese Maple	6cm cal., B&B	as shown
Note: replacement trees on the ground level				
3	Cornus nuttallii	Pacific Dogwood	6cm cal., B&B	as shown
Note: replacement trees on the ground level				
4	Pinus contorta var. contorta	Shore Pine	1.5m height	as shown
Note: replacement trees on the ground level				
4	Tsuga heterophylla	Western Hemlock	1.5m height	as shown
Note: replacement trees on the ground level				
3	Styrax japonicus	Japanese Snowbell	6cm cal., B&B	as shown
Note: replacement trees on the ground level				

**NOTES:**

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
- 3) All planting beds to be installed with 2" (50mm) mulch per specifications.
- 4) Street trees species and locations to be confirmed by the City of Nanaimo before installation.
- 5) Most plant materials to be native plants, any substituted plants shall be native plants and approved by landscape architect before order and installation.

**SHRUBS**

89	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 pot	24" o.c.
54	Rhododendron albiflorum	White-flowered Rhododendron	#3 pot	36" o.c.
9	Rhododendron 'Crete'	Pink Rhododendron	#3 pot	36" o.c.
12	Mahonia aquifolium	Oregon Grape	#2 pot	24" o.c.
62	Sarcococca hookeriana humilis	Himalayan Sweet Box	#2 pot	24" o.c.
17	Spiraea bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c.
60	Gaultheria shallon	Salal	#2 pot	36" o.c.
44	Symphoricarpos albus	Snowberry	#2 pot	36" o.c.
30	Dicentra formosa	Western bleeding heart	#1 pot	18" o.c.
15	Taxus x media 'Hicksii'	Hick's Yew	0.9m height	36" o.c.
12	Blechnum spicant	Deer Fern	#1 pot	24" o.c.

**GROUND COVERS**

138	Pachysandra terminalis	Japanese pachysandra	4"(10cm) pot	15" o.c.
150	Oxalis oregana	Redwood Sorrel	4"(10cm) pot	15" o.c.

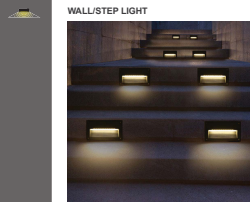
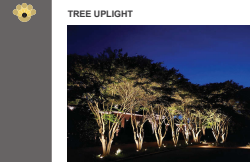
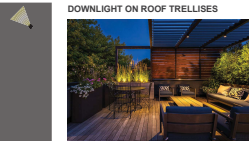
**VINES**

12	Clematis ligusticifolia	Western White Clematis	#1 pot	24" o.c.
----	-------------------------	------------------------	--------	----------

RECEIVED  
DP1254  
2023-MAY-04

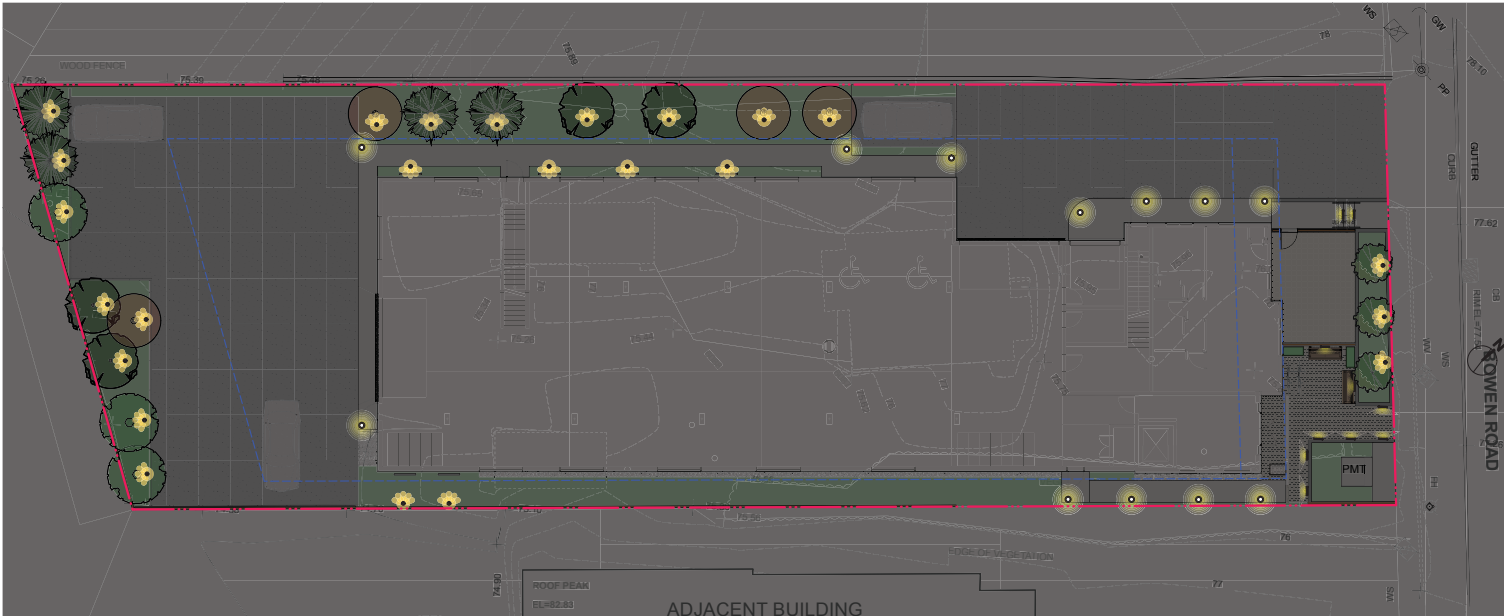
LANDSCAPE LIGHTING LEGENDS

SYMBOL MATERIALS

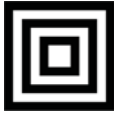


LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



1 CONCEPTUAL LANDSCAPE LIGHTING PLAN - GROUND LEVEL  
Scale: SCALE: 3/32"=1'0" (1:128)



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT  
RESERVED. IF A DISCREPANCY OCCURS  
BETWEEN THE DRAWINGS AND THE  
SPECIFICATIONS OR ANY OTHER DOCUMENT  
ASSOCIATED WITH THE PROJECT, THE CONFLICT  
SHALL BE REPORTED IN WRITING TO THE  
LANDSCAPE ARCHITECT TO OBTAIN  
CLARIFICATION AND APPROVAL BEFORE  
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

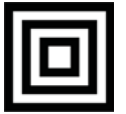
REVIEWED BY: EL

**CONCEPTUAL  
LANDSCAPE  
LIGHTING PLAN**

RECEIVED  
DP1234  
2023-MAY-04

**L2.0**





**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT  
RESERVED. IF A DISCREPANCY OCCURS  
BETWEEN THE DRAWINGS AND THE  
SPECIFICATIONS OR ANY OTHER DOCUMENT  
ASSOCIATED WITH THE PROJECT, THE CONFLICT  
SHALL BE REPORTED IN WRITING TO THE  
LANDSCAPE ARCHITECT TO OBTAIN  
CLARIFICATION AND APPROVAL BEFORE  
PROCEEDING WITH WORKS.

**Revisions**

NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

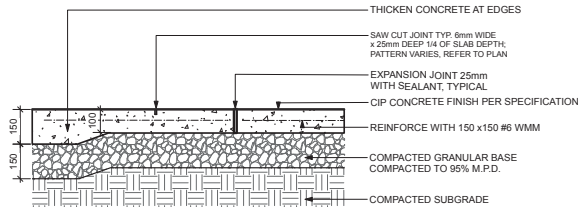
SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

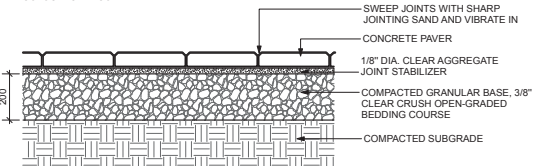
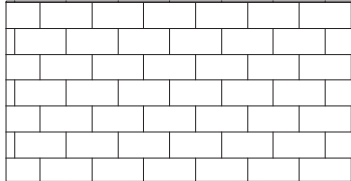
**HARDSCAPE &  
FURNISHING  
DETAILS**

**L3.0**



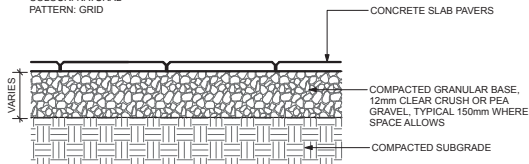
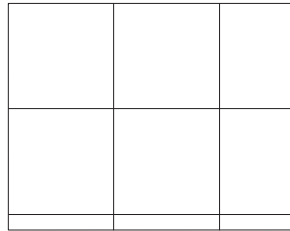
NOTES:  
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

**1 CIP CONCRETE ON GRADE (TYPICAL)**  
Scale: 1:10



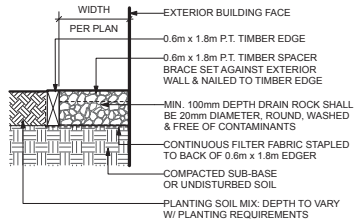
NOTE:  
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**2 CONCRETE UNIT PAVING ON GRADE**  
Scale: 1:10



NOTE:  
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**3 CONCRETE SLAB PAVING ON GROUND LEVEL PATIO**  
Scale: 1:10



NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

**4 GRAVEL DRAIN STRIP - ON GRADE**  
Scale: 1:10



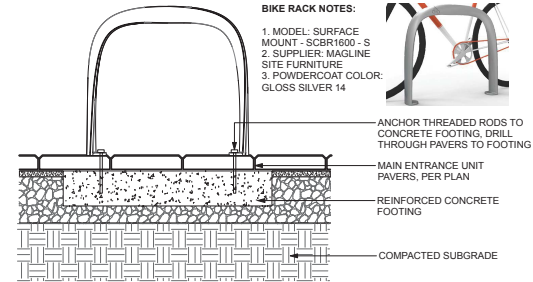
Model: Generation 50 bench, backed, 72in length, straight cut face board, wall mount support, angled end arms

Powdercoated Metal(Metallic) Color: Steel

Woodgrains (Exterior): lpe (P)

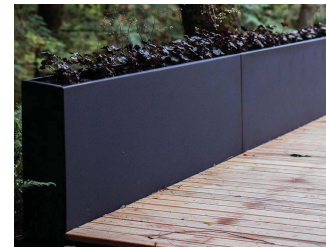
Supplier: landscapiforms (800.430.6209)

**5 BENCH MOUNTED ON THE WALL**  
N/A



NOTE:  
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

**6 BIKE RACK AT MAIN ENTRY**  
Scale: 1:10



Model: Wide Rectangle Aluminum Planter

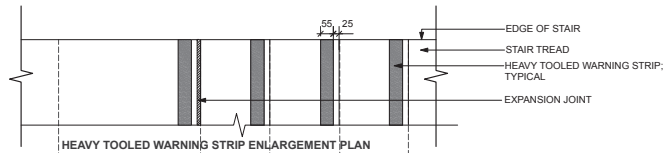
Standard Powder Coat Color: Metallic Silver

Size: 46"L x 20"W x 24"H

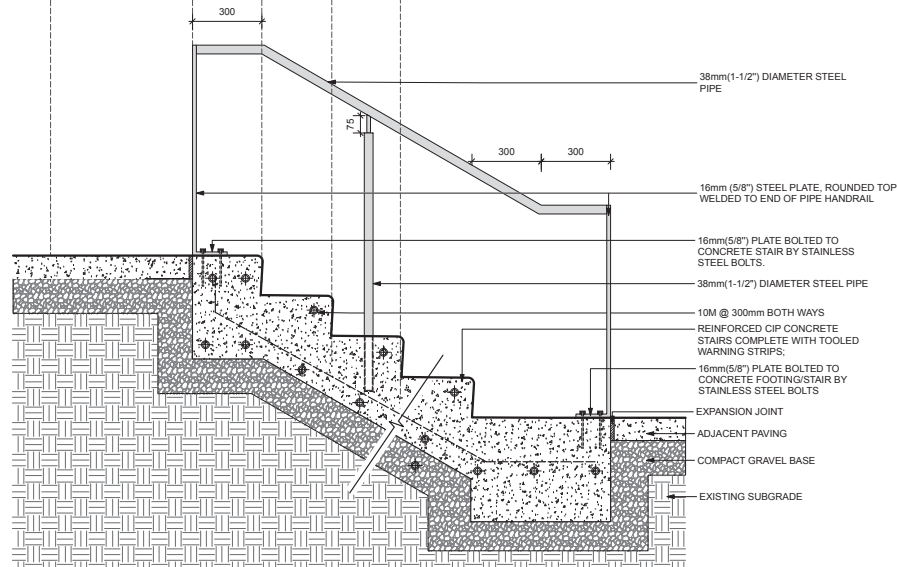
Supplier: Green Theory (604 475 7002)

**7 ALUMINUM PLANTER**  
N/A

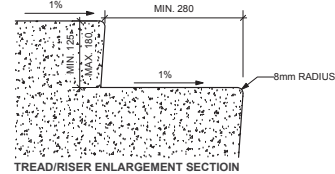
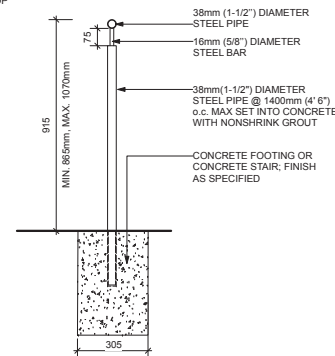
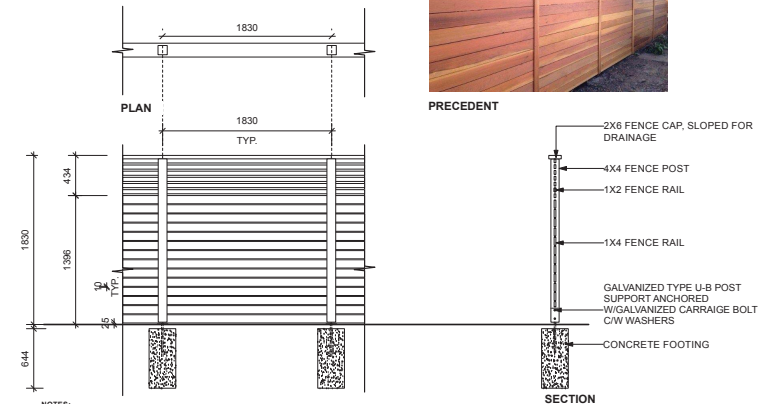
RECEIVED  
DP1234  
2023-MAY-04

**NOTES:**

1. FOR NUMBER OF RISERS SEE LAYOUT DRAWINGS / SECTIONS.
2. RISE OF STAIRS TO BE BETWEEN 125mm AND 180mm MAX. RISE AND RUN SHALL NOT ALTER IN ONE STAIR FLIGHT.
3. GRIND ALL WELDS SMOOTH.
4. ALL HARDWARE TO BE NO. 28 MATTE FINISH STAINLESS STEEL UNLESS OTHERWISE SPECIFIED.
5. HANDRAIL POST TO BE EMBEDDED IN CONCRETE FOOTING MIN 150mm; OR EMBEDDED INTO CONCRETE STAIRS.
6. SHOP DRAWINGS TO BE PROVIDED BY CONTRACTOR.

**STAIR SECTION**

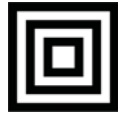
**1 STAIR & HANDRAIL**  
Scale: 1:10

**TREAD/RISER ENLARGEMENT SECTION****HANDRAIL SECTION****PRECEDENT IMAGE****PRECEDENT****NOTES:**

1. ALL WOOD EXPOSED TO VIEW SHALL BE C AND BETTER CLEAR CEDAR.
2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, CRACKS, LARGE KNOTS, AND OTHER DEFECTS.
3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TINT".
4. ALL CUTS TO BE SQUARE AND CLEAN.
5. ALL METAL FIXTURES TO BE GALVANIZED (OR WHERE NOTED - STAINLESS STEEL).
6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARRIAGE BOLTS (IE. TRELIS, AND GATE).

**2 6' HIGH WOOD PRIVACY SCREEN**  
Scale: 1:25

RECEIVED  
DP-1254  
2023-MAY-04  
COURT PLANNING



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

**Revisions**

NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

## 1641 BOWEN ROAD

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

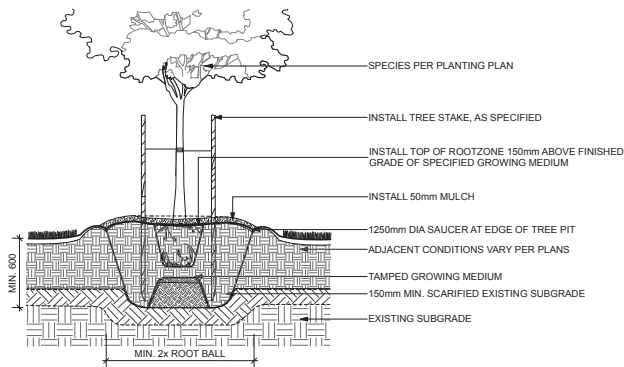
SCALE: AS SHOWN

DRAWN BY: EL

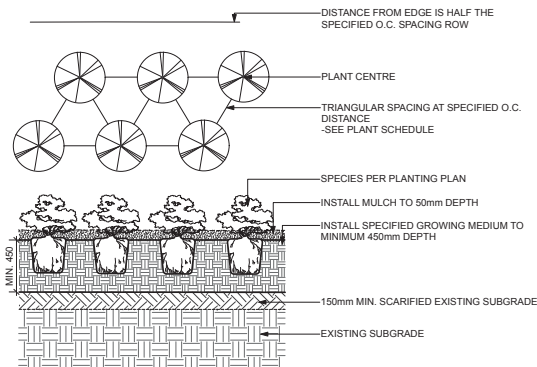
REVIEWED BY: EL

## FURNISHING DETAILS

L3.1



1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)  
Scale: 1:20

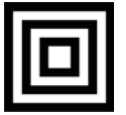
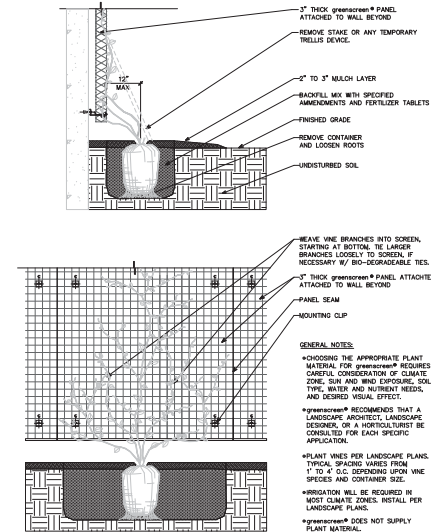


2 PLANTING ON GRADE (TYPICAL)  
Scale: 1:20



Greenscreen Trellis System by Greenscreen (800.450.3494)

3 GREENSCREEN TRELLIS AND VINE PLANTING  
N/A



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

Revisions		
NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**SOFTSCAPE DETAIL**

RECEIVED  
DP1254  
2023-MAY-04

**L3.2**